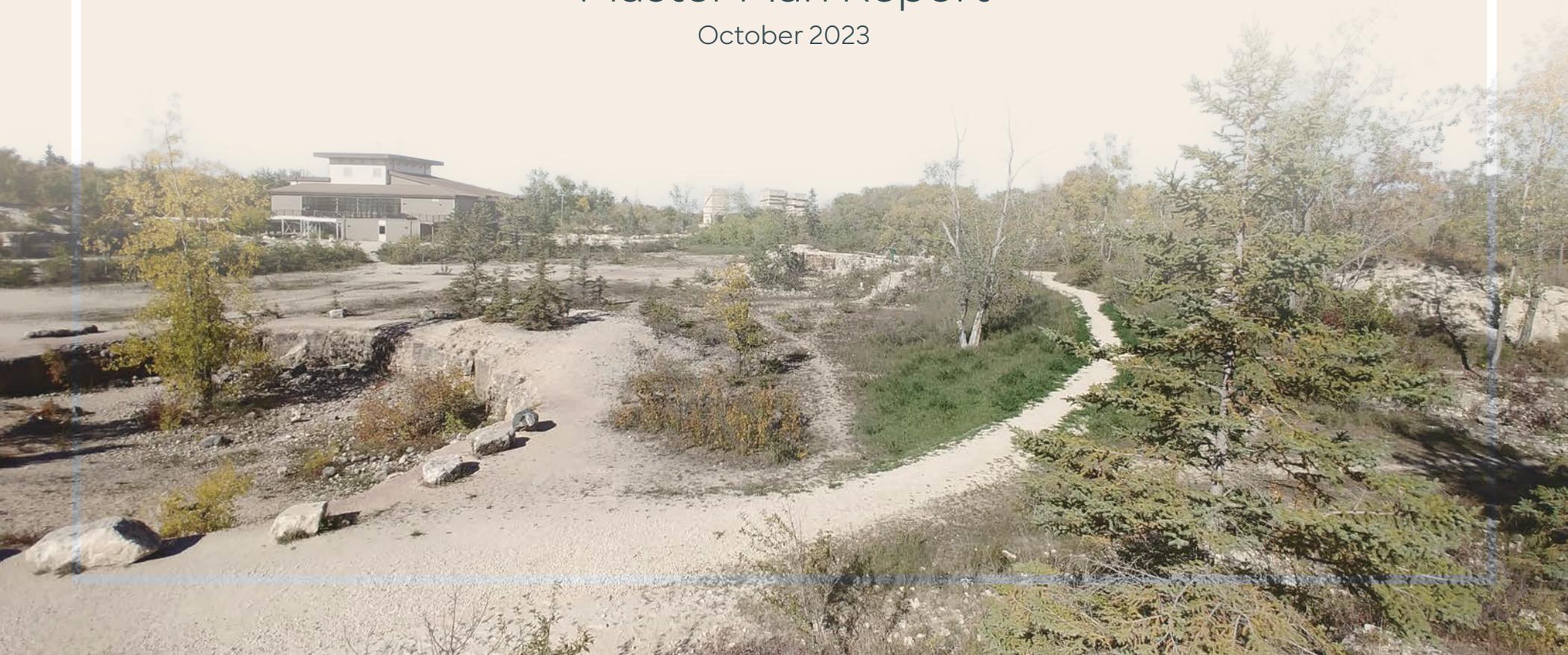


Quarry Park

Master Plan Report

October 2023





Acknowledgments

Quarry Park is located on Treaty One territory and on the ancestral lands of Anishinaabeg, Cree, Oji-Cree, Dakota and Dene peoples, and on the National Homeland of the Red River Métis.

We thank all who participated in the development of the Quarry Park Master Plan, including the staff, Mayor and Council of the Town of Stonewall. Thank you to the community members who attended the public open house, and to those who responded to the community survey. Your valuable time and feedback helps shape the future of Quarry Park.

Executive Summary

As a place to live, relax, and play, Stonewall Quarry Park offers a variety of spaces and activities to its visitors. Quarry Park accommodates users with diverse interests – from baseball players and swimmers to history buffs and nature enthusiasts. In many ways, Quarry Park is the crown jewel of the Town of Stonewall (the Town), revealing its history and providing an active destination for visitors. With the reconstruction of the iconic limestone kilns underway, Quarry Park is in a state of renewal and reimagining.

The projects proposed in this Master Plan build upon the Park’s existing strengths. When considering the variety of activities and venues Quarry Park houses, certain areas could be better enhanced, developed, and connected to their surroundings. In addition to the existing Quarry Park Campground Redevelopment Visioning, the Quarry Park Master Plan proposes upgrades / modernization approaches to the Park in the following areas:

- Circulation + accessibility
- Heritage interpretation + programming
- The Beach / Kinsmen Lake
- West Community Park
- Fines Field Baseball Complex
- All of the Park’s entries / interface with the Town

Quarry Park is challenged by its site boundaries and its own success. Plans for expansion / modernization exist for numerous land users within the park – namely the campground and the baseball community, both of which are nestled into this heritage resource. It is important that Quarry Park recognizes that it is both a natural and cultural heritage resource that tells the story of the Town, while engaging the community in healthy and active ways throughout all seasons.

With its own success, demands on the local support infrastructure are expected. Managing space for temporary car storage (ie. parking)

while prioritizing active transportation and accessibility will be critical in all aspects of the park development to ensure that land is optimized for public use. The Master Plan prioritizes people over cars – and it is encouraged that consideration for a northern approach (currently RM of Rockwood / private land) would expand the accessibility of the Park.

Moving forward with any of the projects within the Master Plan will require continued community engagement. Notably, considering that softball / baseball is growing and has significant demands on field rentals and tournament play, any modifications would need to be coordinated to ensure that the Town can continue to fully support those activities. Additionally, changes to the beach must acknowledge not only the technical challenges of beach modifications, but also the operational goals of using the beach as a teaching facility.



1.0 The Master Plan

Scatliff + Miller + Murray (SMM) was engaged by the Town of Stonewall (the Town) to complete a comprehensive Master Plan for Quarry Park.

The project began with data and background research, including site visits to Quarry Park and meetings with numerous stakeholders as part of the initial scoping and concept development. Due to the COVID-19 pandemic, the project slowed down and had to be restarted in late 2022. A detailed conceptual design plan for Quarry Park was created following the initial research phase.

The conceptual design was presented to the public at an open house on June 22, 2023. Attendees were asked to provide comments in an exit survey once they had the opportunity to view the presentation boards and speak with the project team. The survey was posted online, and remained open for two weeks, for those who were not able to attend the open house.

This Quarry Park Master Plan Report summarizes the master planning process and includes findings from the public engagement program. Further, this report is complete with a construction phasing strategy and budget costs associated with each phase.

1.1

Related Plans

Quarry Park Campground Redevelopment

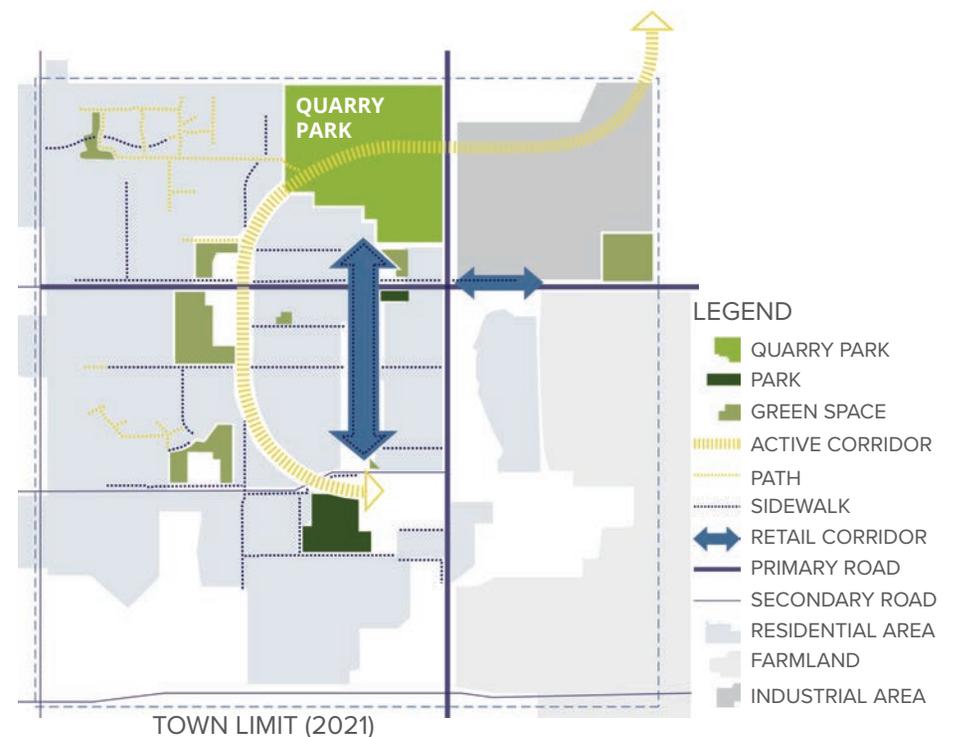
In 2019, SMM completed a comprehensive redevelopment plan for the Quarry Park Campground. The final submission included a diagram of future considerations for the larger Quarry Park. The Quarry Park Campground Redevelopment Final Visioning Report can be found on the Town’s website (<https://www.stonewall.ca/p/camping>). The Quarry Park Master Plan follows and builds upon the groundwork completed in 2019.

Town of Stonewall Strategic Plan

The Quarry Park Master Plan also reinforces several goals and actions outlined in the Town of Stonewall’s Strategic Plan (2023-2028). Quarry Park is essential to Stonewall’s unique character, an identity which the Strategic Plan aims to preserve and enhance.

Participants in the Strategic Plan’s online survey highly rated the Town’s parks and outdoor recreation as one of the most important aspects of the Town. The Strategic Plan’s response to this feedback highlighted the ways in which the Town could improve on their outdoor recreational spaces, specifically Quarry Park.

The Strategic Plan’s major objectives relating to Quarry Park include improving programming and events within the Park, promoting the Town’s heritage, and reinforcing Quarry Park as an important component of Main Street, the Town’s main hub and focal point. Implementing this Master Plan is also listed as an important strategic action to promote community and economic development. The Strategic Plan can be found on the Town’s website (<https://www.stonewall.ca/p/town-strategic-plan>).



1.2 Public Engagement + Open House

For the full What We Heard Report, please see Appendix A. Below is a list of key findings summarized from the Stonewall Quarry Park Survey:

- Most survey respondents visit Quarry Park on a weekly basis.
- Driving is the most popular mode of transportation to get to the park.
- Walking / running is the most popular activity that brings people to the park, followed by the beach and special events.
- Most survey respondents reported that they are familiar to very familiar with Stonewall's limestone production heritage story.
- Most participants are interested in learning more about Quarry Park's heritage through enhanced interpretive elements.
- When asked about improvements to the beach, one third of the responses indicated interest in improved slides and play features.
- The top three priority areas for park improvements are The Beach, Community Programs, and Fines Field Baseball Complex.



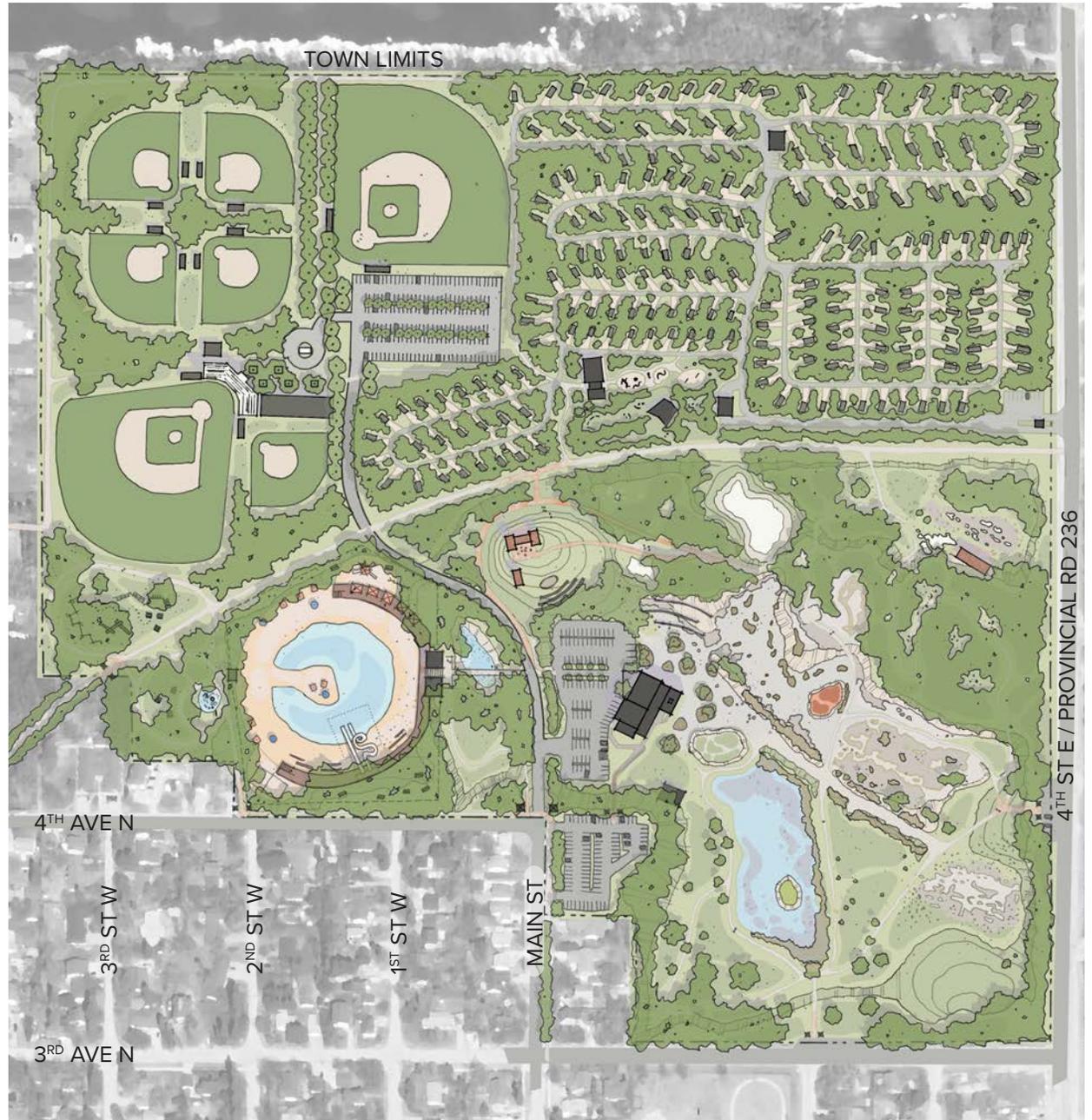
1.3

Quarry Park Vision

A contemporary cultural, historical, and social hub

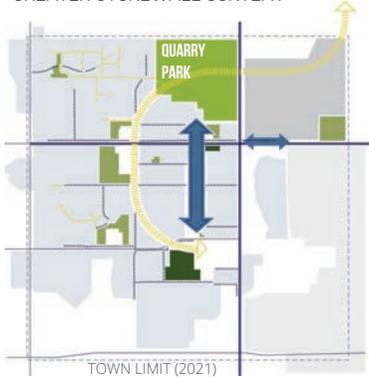
This Master Plan presents the 25-year vision for the park that enhances the existing uses and interpretive components, while providing opportunities to enhance its position as both a community and a regional destination park. These concepts will serve as a guiding vision for the park – individual improvements and facility changes will be subject to stakeholder and public involvement as they develop.

The following pages include the presentation boards that were on display at the Open House in June 2023.



AREAS FOR REDEVELOPMENT

GREATER STONEWALL CONTEXT



LEGEND

- Quarry Park
- Park (Veteran's Memorial)
- Green Space
- Active Corridor
- Path
- Sidewalk
- ↔ Retail Corridor (Main Street)
- Primary Road
- Secondary Road
- Residential Area
- Farmland
- Industrial Area

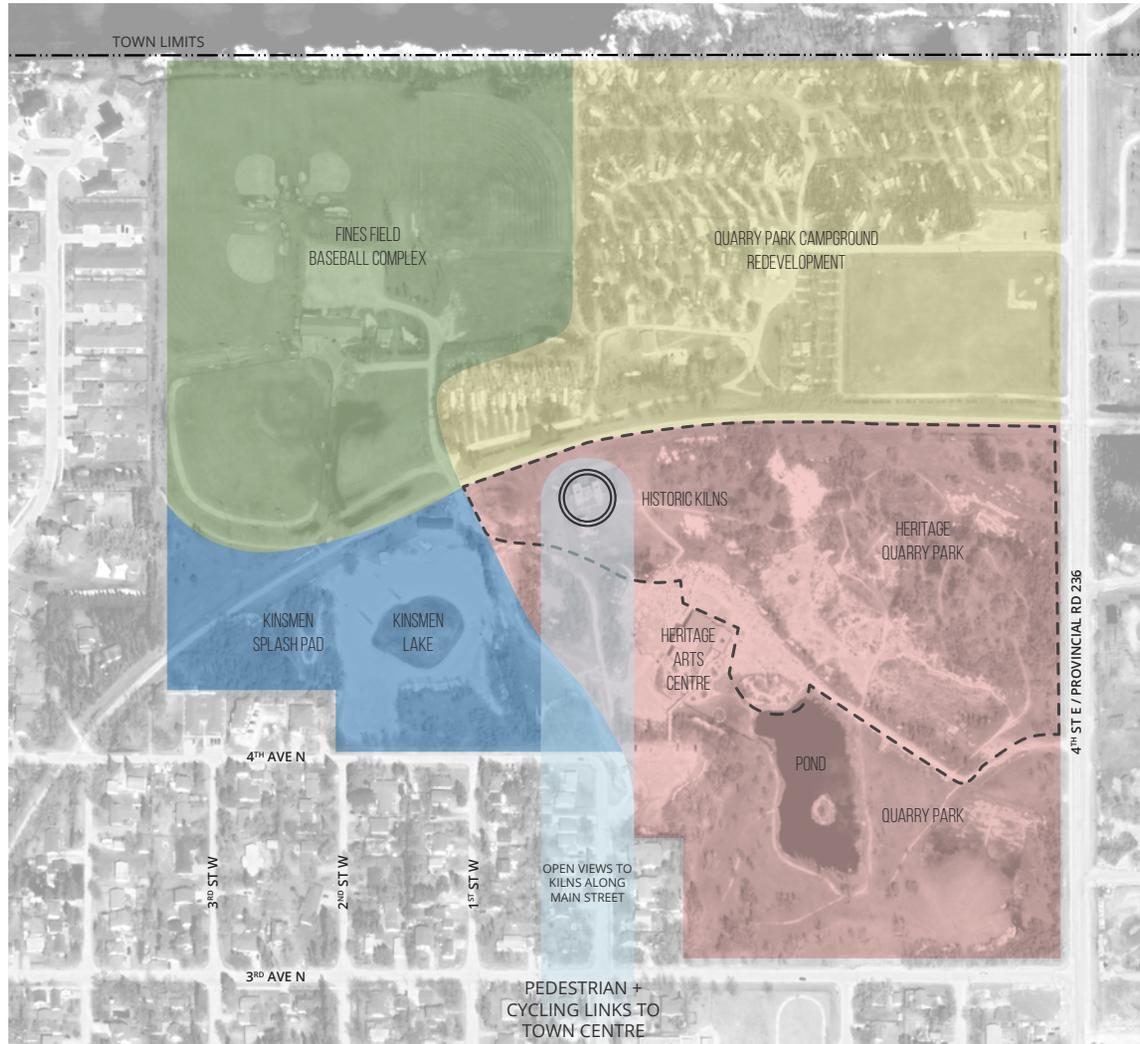


TABLE OF CONTENTS

PARK ENTRIES

- Reinforce quarry identity
- Define Park boundaries

CIRCULATION

- Shade trees
- Accessibility (incl. Benches)
- Wayfinding signage

HERITAGE INTERPRETATION

- Expand and reorient around key features and site history

PROGRAMMING OPPORTUNITIES

- Expand all-season recreational + social offerings
- Winter skating (skate / ski warming hut, seating, fire pits, music, and lighting)
- Consider additional interpretive activities (orienteeering, interactive mobile app)

KINSMEN LAKE + WEST COMMUNITY PARK

- Entrance signage and wayfinding
- Modern retrofit to washroom + change facilities
- Water recreation amenities (water slide, swimming platforms, docks, etc.)
- Shade structures
- Improve universal accessibility to water

FINES FIELD BASEBALL COMPLEX

- Improve site access and parking
- Revise facility layout, consolidating diamond arrangement

CAMPGROUND REDEVELOPMENT

- As per Stonewall Quarry Park Campground Redevelopment Final visioning report, October 2019

PARK ENTRIES



VEHICULAR ENTRANCES



ENTRANCE SIGNS INSPIRED BY THE QUALITY AND MATERIALS IN QUARRY PARK



EMPHASIZE VIEWS TO THE DRAW KILNS



TREE LINED ROADS

- Flagship entrance with re-aligned roads and expanded parking facilities
- Cohesive signage for all access points / entrances
- Focused views of the Kilns

PEDESTRIAN ENTRANCES



COHESIVE AND SCALE APPROPRIATE ENTRANCE SIGNS



FORMALIZED PEDESTRIAN ENTRANCES WITH VERTICAL ELEMENTS

- Added entrances for easy access from surrounding community
- Enhanced arrival experience with new shade plantings, consistent landmarks denoting gates
- Re-prioritized pedestrian focus for Quarry Park
- New southern entrance to Splash Pad and Park off 2nd Street West

CIRCULATION



BETTER DEFINED ACTIVE TRANSPORTATION TRAIL

- Added access points for community ease (3.5m minimum width)
- Enhanced entrance experience with planting
- Provide lighting and seating opportunities



ENHANCE EXPERIENCE AND TRAFFIC CALM

- Traffic Calming Measures introduced
- Enhanced entrance experience with planting
- Pedestrian as priority



INCREASED ACCESSIBILITY THROUGH INTERPRETIVE TRAILS

- Improved Accessibility (1.5m minimum width)
- Regular stopping points for interpretive elements
- Blend into existing topography
- Allow for self-guided, or tour approach to design



ALL SEASON TRAILS

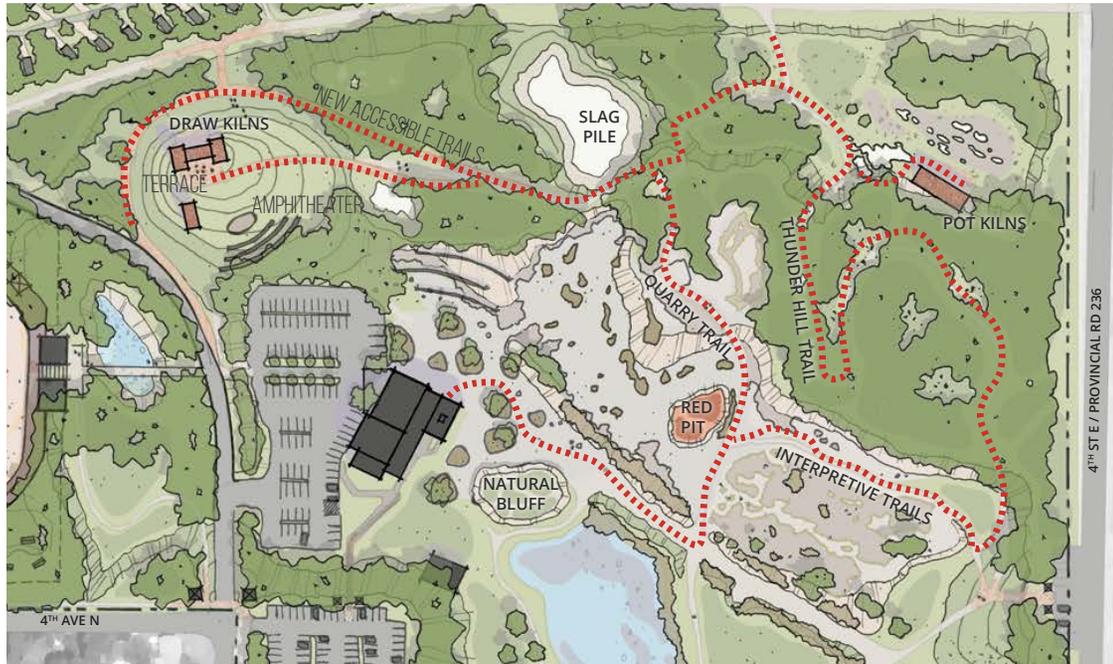
- Pedestrian as priority
- Consider 4 seasons
- Allow for both casual and recreation-based uses
- Prioritize connectivity both within and to park



WELL-DEFINED PARKING LOTS TO MAXIMIZE LOAD AND FLOW

- Define parking spaces to optimize efficiency
- Enhanced entrance experience with planting
- Consider bio-swales and other plantings to improve drainage

HERITAGE INTERPRETATION



WAYFINDING + INTERPRETIVE ELEMENTS

- Improved interpretative storytelling and wayfinding for self-guided tours
- Well-situated, thoughtful, and playful signs
- Visually clear paths with a focus on the kilns



CELEBRATION OF QUICK LIME PRODUCTION HISTORY



CREATIVE INFORMATIONAL SIGNAGE



EXTENSION OF EXHIBIT CONTENTS INTO OUTDOOR PAVILIONS

TERRACE

- New event space centered around the draw kilns



REJUVENATED KILNS WITH GATHERING TERRACE



AMPHITHEATER + OUTDOOR PERFORMANCE SPACE



KILN LIGHTING

ACCESSIBILITY

- Accessible ramps throughout Quarry Park
- Integrated rest stops along trail network



DURABLE OUTDOOR MATERIALS

INTERPRETIVE CENTER AS HUB

- Enforce heritage connection to the interpretive grounds
- Repetitive, visual reference to quarry history



INDUSTRIAL RELICS / QUARRY MATERIALS

PROGRAMMING OPPORTUNITIES



POND + JIMM'S HILL

- Expanded seasonal programming (e.g. cross-country skiing, warming huts)



ICE SKATING + TOBOGGANING



EASTER EGG HUNT

EVENT GROUNDS

- Accentuate existing, beautiful views of Quarry Park
- Opportunities for outdoor events (e.g. team windups, music festivals, movie night, etc.)



FOUR SEASON PAVILION / EVENT SPACE



SNOW SCULPTURE FESTIVAL

PLAZA

- Improved outdoor lighting for extended programming
- Greater paved, hardscaped space for community events / gatherings



HARVEST FESTIVAL



LIGHTS FESTIVAL

WEST ENTRANCE + INTERPRETIVE CENTRE

- Improved sight lines and access to Quarry Park through the revised parking layout
- Opportunities for rental depot, day camp pick-up / drop-off



WELL-DEFINED WEST ENTRANCE



REALIGNED AND BETTER-DRAINING PARKING LOT

BEACH + WEST COMMUNITY PARK



THE ISLAND

- Re-contoured lake with central, accessible sandbar; improved usability



WELL DEFINED, GRADED SPIT

WEST PARK + SPLASH PAD

- New south entrance with improved plantings for screening
- Shared amenities located near the splash pad (i.e. washroom / changing facility)



DYNAMIC OUTDOOR PLAY AREAS



NATURE GYM + OBSTACLE COURSE

ENTRANCE + ARRIVAL

- Enhanced amenities and increased accessibility
- Surrounding boardwalk connecting North / South beach



NEW ENTRANCE BOARDWALK



CHANGING ROOMS / WASHROOM FACILITIES

NORTH BEACH

- Upgraded recreational facilities
- Built-in features on boardwalk including shade structures and seating



WHIMSICAL PLAY STRUCTURES



PERMANENT PERGOLAS FOR BEACH-GOERS

SOUTH BEACH

- New outdoor water slide + lookout structure on south shore
- Re-enforce boardwalk edge to provide seating, rest areas



UPGRADED VOLLEYBALL COURTS



STRENGTHEN EXISTING SEATING AREAS

THE PLAN



MASTER PLAN IMPROVEMENTS

PARK ENTRIES

- Flagship entrance
- Focused views to kilns
- New + Formal pedestrian entrances

CIRCULATION

- Better defined active transportation trail
- Pedestrian prioritization and traffic calming
- Increased accessibility
- All season trails
- Well-defined parking lots

HERITAGE INTERPRETATION

- Terrace event space near kilns
- Accessibility upgrades
- Wayfinding + interpretive elements
- Reinforcing the heritage centre as a hub

MORE PROGRAMMING OPPORTUNITIES

- Event grounds
- Plaza
- Revised layout to enable rental depot and day camp pickup/drop-off
- Expanded seasonal programming

THE BEACH + WEST COMMUNITY PARK

- Limit depth of water
- Increased sand area
- Enhanced concession area
- More play features, such as a slide
- Splash Pad

CAMPGROUND IMPROVEMENTS (as per previous Master Plan)

FINES FIELD BASEBALL COMPLEX

- Reconfigured and improved diamonds, including lighting
- New concession/pavilion building for change rooms
- Enhanced grandstands
- Improved access road

ENHANCED TREE PLANTING PROGRAM

2.0 Implementation + Recommendations

The Quarry Park Master Plan represents an investment into the future success of the park and how it serves as a centre for the Town of Stonewall.

Each “project” has an associated high level estimated project cost that includes a range of unknowns and variables that will form the basis of detailed project planning. As identified herein, projects have a large amount of inter-relationship and offer opportunities through the planning process to find efficiencies and “right size” project scope to meet the broader objectives of the Master Plan.

This Master Plan recognizes that implementation will be subject to fund development, marketing, and revenue generation, while ensuring the day-to-day expectations of operations, programming, and community engagement are met. The following breakdown identifies project costs that should be considered over the duration of the project, from project planning through commissioning.

It must be noted that the Master Plan must be dynamic and opportunistic – the planning is not limited to a 20-year window, nor is it limited to an upset budget, but rather it projects a future vision of the Quarry Park, and the scale of investment required to achieve it.

The following opinion of probable cost for each “project” is based on our team’s best assessment using 2023

construction values with a conservative 30% contingency and a 15% cost for any / all consulting services on a project-by-project basis. At this stage of Master Planning, these values should assist in long term planning, fund development, and assist in individual scope / scale of projects as they move into the design / planning phase. Budget costs as shown represent costs related to adjacent impacts of development that at times will look at temporary and / or decommissioned uses of related infrastructure.

The areas of development are listed as they were prioritized through the public process, but we do need to recognize that the priorities reflect where the public currently anticipates future improvement – but does not necessarily align with other opportunities (funding, infrastructure needs, etc.). Each project can be broken down into much smaller phases as well; to move into the implementation phase it is recommended that the Town of Stonewall continue to strive for “best in class” which the budget numbers align with.

The following cost breakdown does not include costs associated with the modernization of the campground as that has been provided with the Quarry Park Campground Redevelopment Plan. It is important to recognize the impact of each of these Master Plans on the planning and operationalization of the other.

2.1 The Beach

\$10.8 million

Kinsmen Lake is essential to the community. It provides an important role as a teaching facility and provides a rich community asset through the Summer. The proposed design for the beach optimizes the ratio of sandy beach / water and reduces the full depth of the beach to support operations and water quality. Improved accessibility, modernized and improved opportunities for seating and extending the time spent include a new boardwalk, slides, play structures, new concession / washroom facilities are all planned to modernize the facility to meet public expectations now and into the future.

Item	Description	Unit	Approx. Quantity	Unit Price	Budget
a	Accessible boardwalk from parking lot	l.m.	50	\$4,000	\$200,000
b	Boardwalk surrounding beach	sq.m.	2,000	\$750	\$1,500,000
c	New Concession / Washroom Building	l.s.	1	\$3,000,000	\$3,000,000
d	Shade sails along boardwalk	ea.	5	\$10,000	\$50,000
e	Water slide + lookout structure	l.s.	1	\$500,000	\$500,000
f	Improved beach volleyball court	l.s.	1	\$50,000	\$50,000
g	Shade canopies (e.g. umbrellas)	ea.	10	\$8,000	\$80,000
h	Benches	ea.	12	\$2,000	\$24,000
i	Accessible picnic tables	ea.	24	\$5,000	\$120,000
j	Enhanced tree planting	ea.	100	\$700	\$70,000
k	Modification to Water System (depth of water, mechanical)	l.s.	1	\$1,500,000	\$1,500,000
l	Play structure(s)	l.s.	1	\$100,000	\$100,000
m	Tree planting	ea.	100	\$500	\$50,000

Subtotal	\$7,244,000
Contingency (30%)	\$2,173,200
Consulting Fees (15%)	\$1,413,000
TOTAL	\$10,830,200

2.2 Heritage Park + Programming

\$10.2 million

The Interpretive Centre will be reinforced as the hub of the Park, with new elements that reference the quarry history. An outdoor event space, featuring an amphitheatre and terrace, centered around the newly restored draw kilns will provide a comfortable and accessible space for formal and informal events. The proposed design incorporates thoughtful and playful wayfinding and interpretive signage that celebrates Stonewall's quick lime production history. Accessibility will be emphasized with new ramps and integrated rest stops along the trail network.

Item	Description	Unit	Approx. Quantity	Unit Price	Budget
Terrace Event Space					
a	Kiln restoration (in progress)	ea	3	\$1,500,000	\$4,500,000
b	Amphitheatre / stage	l.s.	1	\$100,000	\$100,000
c	Kiln lighting	l.s.	1	\$200,000	\$200,000
d	Limestone retaining wall seating	l.m.	115	\$500	\$57,500
e	Four season pavilion/event space	sq.m.	200	\$2,500	\$500,000
West Entrance + Interpretive Centre					
f	Parking lot realignment / enhancement	sq.m.	8,000	\$150	\$1,200,000
g	Signage / wayfinding	l.s.	1	\$10,000	\$10,000
Interpretive Trail					
h	Accessible improvements to pathway system	l.s.	1	\$150,000	\$150,000
i	Interpretive signage	l.s.	1	\$30,000	\$30,000
j	Tree planting	ea.	100	\$500	\$50,000

Subtotal	\$6,797,500
Contingency (30%)	\$2,039,250
Consulting Fees (15%)	\$1,326,000
TOTAL	\$10,162,750

2.3 Fines Field Baseball Complex

\$8.4 million

The Fines Field Baseball Complex draws visitors into the Park from all around the region and beyond. Several major tournaments, such as the Pan Am Games and the Western Canada Summer Games, have used Fines Field’s class A diamonds in the past. The Master Plan proposes two additional U11-13 diamonds and improved pedestrian and service vehicle circulation. The entry experience will be enhanced with additional tree plantings, creating a “park-like road” access into the facility. A new approach on the north side of the complex is recommended to prime the complex for future expansion.

Item	Description	Unit	Approx. Quantity	Unit Price	Budget
Baseball Diamonds (re-organization / renovation)					
a	Grading	sq.m.	8,000	\$5	\$40,000
b	Sod	sq.m.	8,000	\$16	\$128,000
c	Lighting	ea.	8	\$25,000	\$200,000
d	Fencing re-working	l.s.	1	\$250,000	\$250,000
e	Bleachers	ea.	4	\$15,000	\$60,000
Pavilion + Plaza					
f	Asphalt parking lot (includes removal of existing)	sq.m.	6,000	\$150	\$900,000
g	Accessible picnic tables	ea.	10	\$5,000	\$50,000
h	Entry signage	l.s.	1	\$10,000	\$10,000
i	Pavilion building	sq.m.	750	\$5,000	\$3,750,000
j	Tree planting	ea.	500	\$500	\$250,000

Subtotal	\$5,638,000
Contingency (30%)	\$1,691,400
Consulting Fees (15%)	\$1,100,000
TOTAL	\$8,429,400

2.4 Beyond

\$1 million

Beyond the three major areas of improvement, the Master Plan proposes upgrades to the Park’s overall circulation and connectivity to its context. Recommendations include new / upgraded park entries, upgrades to the active transportation trail, and enhancements to the West Community Park. A flagship entry to the park will connect with the Town’s Main Street by re-aligning the road and focusing views on the draw kilns. The West Community Park serves as a neighbourhood park for the northwest corner of the Town, and enhancements are proposed to improve its usage.

Item	Description	Unit	Approx. Quantity	Unit Price	Budget
Flagship Entrance					
a	Re-align road (asphalt paving entry to fines parking)	lin.m.	375	\$70	\$26,250
b	Tree planting (for tree-lined road)	ea.	60	\$500	\$30,000
c	Entry signage	l.s.	1	\$15,000	\$15,000
d	Tree planting	ea.	50	\$500	\$25,000
Pedestrian Entrances					
e	New paths	lin.m.	40	\$75	\$3,000
f	Entry signage/wayfinding	ea.	6	\$1,000	\$6,000
g	Tree planting	ea.	100	\$500	\$50,000
Active Transportation Trail					
h	Lighting	ea.	100	\$1,000	\$100,000
i	Seating	ea.	20	\$2,000	\$40,000
j	Accessible paving	lin.m.	830	\$175	\$145,250
k	Tree planting	ea.	200	\$500	\$100,000
West Community Park					
l	Gateway (removal of existing fence)	l.m.	10	\$10	\$100
m	Tree planting	ea.	5	\$500	\$2,500
n	Shrub planting	ea.	10	\$75	\$750
o	Nature play / fitness equipment	l.s.	1	\$40,000	\$40,000
p	Play structure(s)	l.s.	1	\$50,000	\$50,000
q	Lighting	ea.	15	\$1,000	\$15,000
r	Benches	ea.	4	\$2,000	\$8,000
s	Accessible picnic tables	ea.	3	\$8,000	\$24,000

Subtotal	\$680,850
Contingency (30%)	\$204,255
Consulting Fees (15%)	\$133,000
TOTAL	\$1,018,105

SCATLIFF + MILLER + MURRAY

visionary urban design + landscapes